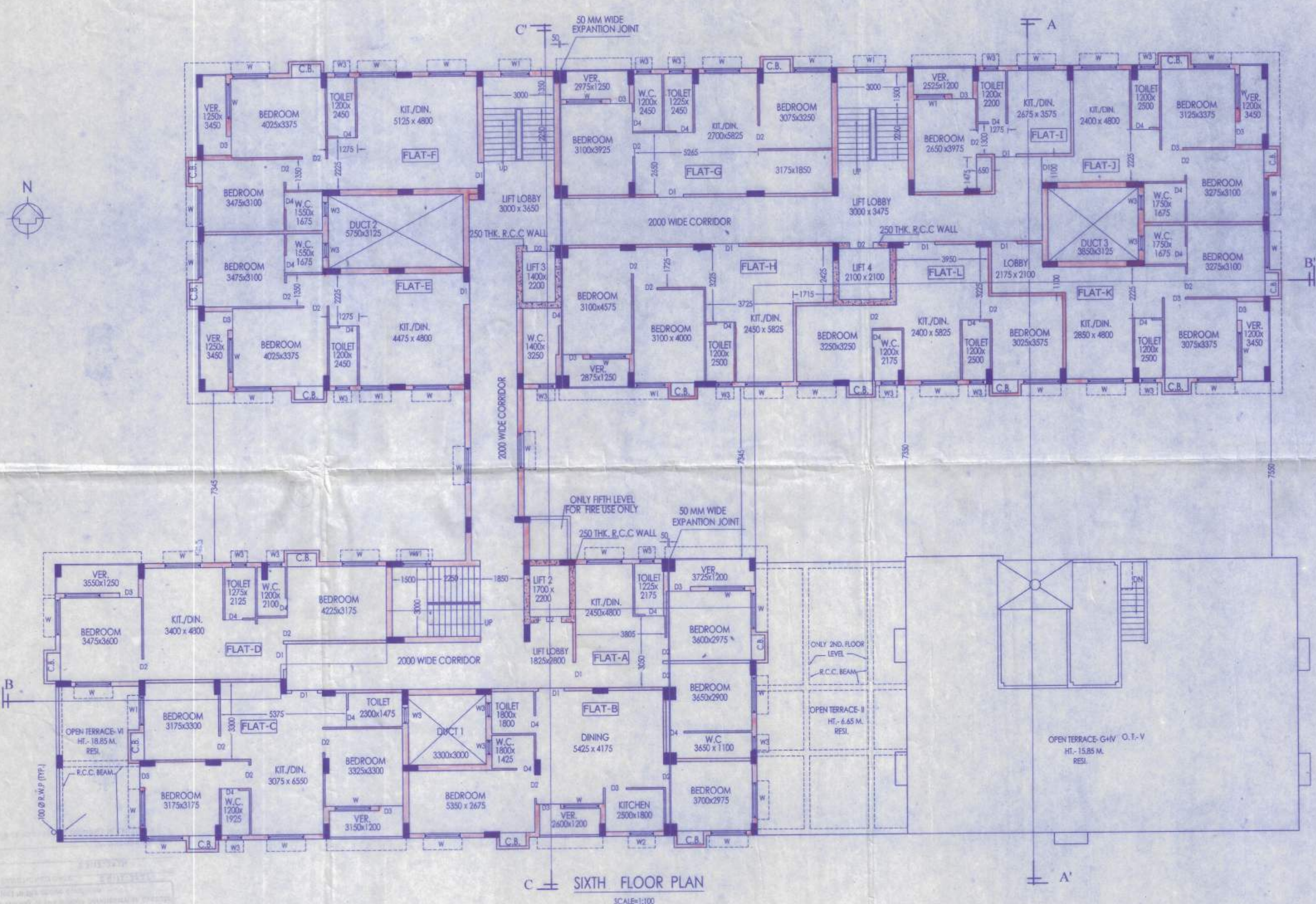


PROPOSED G + VII STORED RESIDENTIAL BUILDING PLAN OF SRI SAUMEN MIDDEY S/O LATE ATUL KRISHNA MIDDEY, AT MOUZA CHAKE JOTESHIRAMPUR, J.L. NO.-25, T.R. DAG NO.-314, L.R. KHATAN NO.-4228 & 4262, WARD NO.-14, UNDER MAHESHTALA MUNICIPALITY, P.S.-MAHESHTALA, DIST.-SOUTH 24 PARAGANAS, HOLDING NO.-84-18/257, HO-CHI-MINH SARANI, KOLKATA 700141

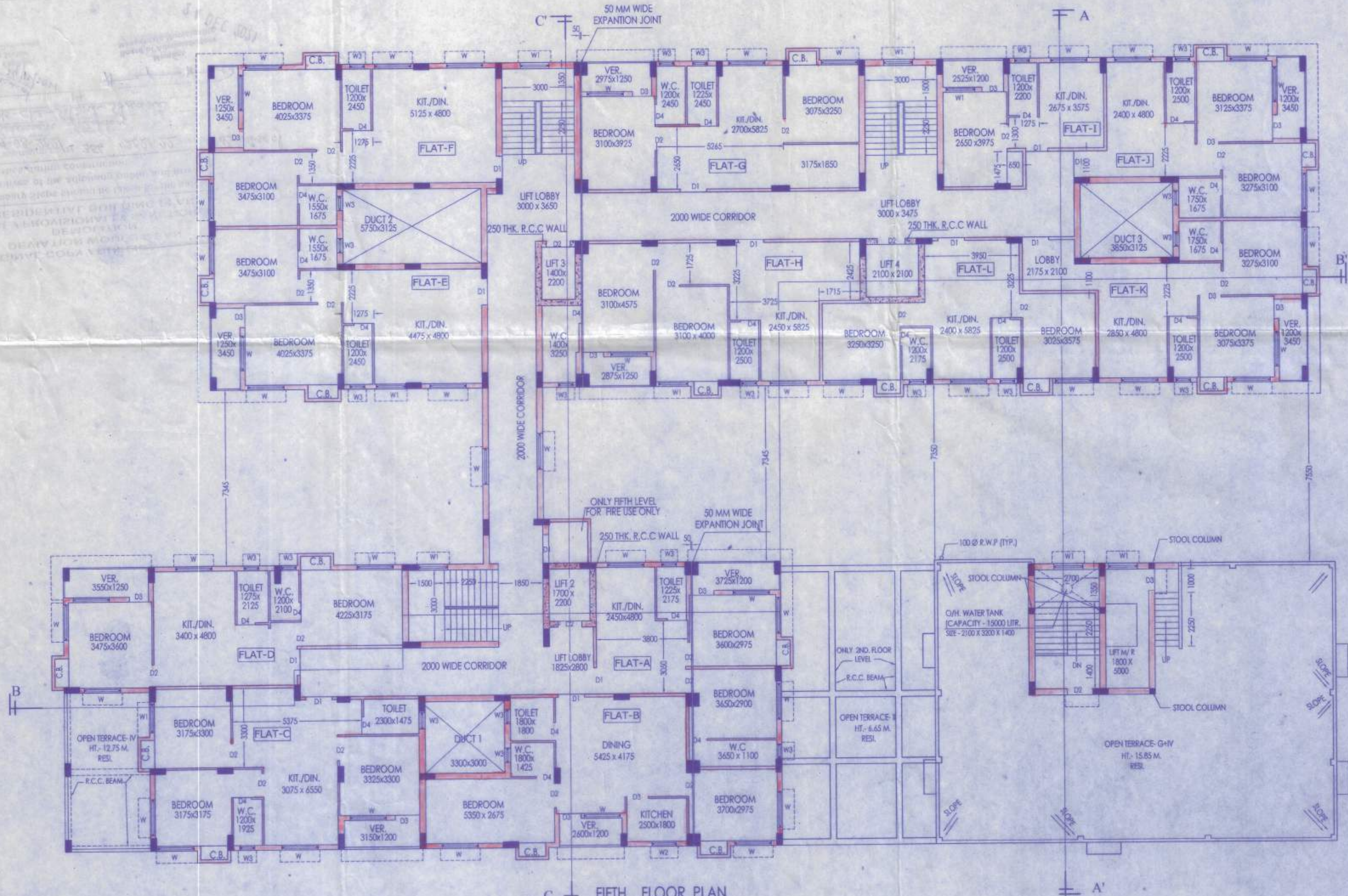
FOR: M/S N S CONSTRUCTION
Partners: SAMADUL ALI KHAN, NARGIS KHAN & SUHANA KHAN
C.A. OF SRI SAUMEN MIDDEY

AREA STATEMENT

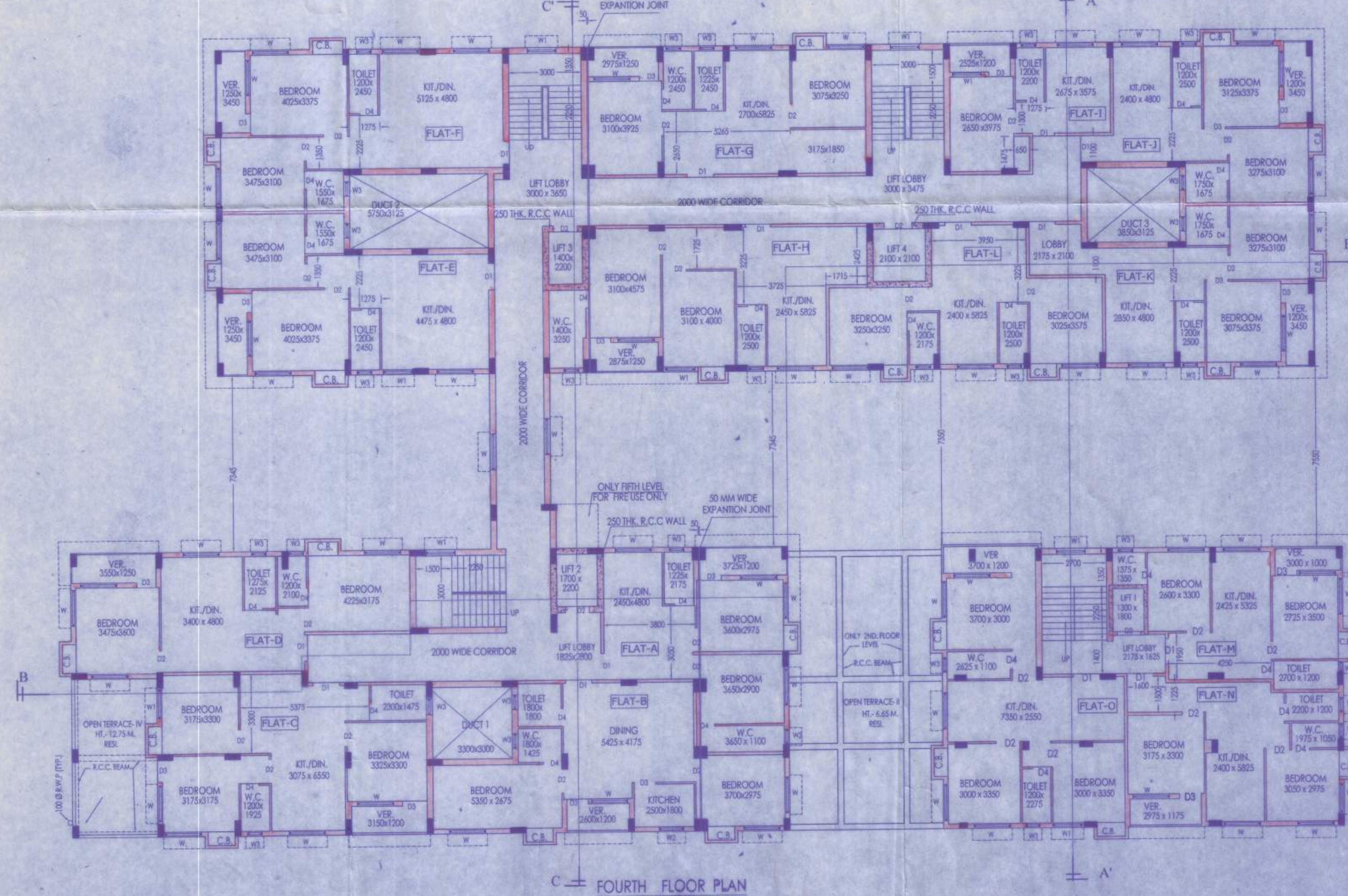
1. AREA OF LAND = 69 SATAK (AS PER R.O.R.) = 2797.324 SQM.
2. PERMISSIBLE GROUND COVERAGE (50.00%) = 1398.662 SQM.
3. PROPOSED GROUND COVERAGE = 143.757% = 1224.835 SQM.
4. PROPOSED HEIGHT = 15.850 MT. (G+7)
5. TOTAL REQUIRED CAR PARKING = 41 NOS
6. TOTAL PROVIDED CAR PARKING = 41 NOS
7. PERMISSIBLE AREA FOR PARKING = 872.542 SQM
8. GROUND FLOOR AREA = 1224.035 SQM
9. FIRST FLOOR AREA = 1224.035 SQM
10. SECOND FLOOR AREA = 1129.408 SQM
11. THIRD FLOOR AREA = 1124.608 SQM
12. FOURTH FLOOR AREA = 1105.144 SQM
13. FIFTH FLOOR AREA = 931.390 SQM
14. SIXTH FLOOR AREA = 954.789 SQM
15. SEVENTH FLOOR AREA = 774.131 SQM
16. STAIR HEAD ROOM AREA = 782.771 SQM
17. LIFT ROOM AREA = 64.548 SQM
18. TOTAL COVER AREA = 8513.731 SQM
19. PERMISSIBLE F.A.R. = 2.25
20. PROPOSED F.A.R. = 2.249
21. TOTAL EXEMPTED AREA = 1348.21 SQM
22. TOTAL CARPARKING AREA = 872.542 SQM
23. TOTAL SHOP AREA = 308.155 SQM
24. TOTAL OFFICE AREA = 557.221 SQM (FIRST FLOOR)
25. TOTAL OFFICE AREA = 885.355 SQM (GROUND + FIRST FLOOR)
26. TOTAL C.B. AREA = 89.356 SQM
27. TOTAL COVER AREA = 8513.731 SQM
28. TOTAL EXEMPTED AREA = 1348.21 SQM
29. CARPARKING AREA = 872.542 SQM
30. ACTUAL AREA = (8513.731 + 1348.21 + 872.542) SQM = 6292.979 SQM
31. ACTUAL TOTAL AREA = 6292.979 SQM
32. F.A.R. = 6292.979 / 2797.324 = 2.249
- NO. OF TENAMENTS : 89 NOS.
- SIZE OF TENAMENT : a) BELOW 50 Sqm : 15 NOS.
b) 50 Sqm - 75 sqm : 74 NOS.



SIXTH FLOOR PLAN
SCALE: 1:100



FIFTH FLOOR PLAN
SCALE: 1:100



FOURTH FLOOR PLAN
SCALE: 1:100

SIZE OF TENAMENT

FLOOR	FLAT NO.	FLAT SIZE (Sq. Ft.)	NO. OF ROOMS
FIRST - SIXTH FLOOR	A	55.18	3
	B	71.53	3
	C	74.00	3
	D	65.49	3
	E	48.87	3
	F	72.09	3
	G	66.92	3
	H	72.00	3
	I	31.81	3
	J	54.31	3
SEVENTH FLOOR	K	44.47	3
	L	52.85	3
	M	36.91	3
	N	Nil	Nil
	O	Nil	Nil
	P	Nil	Nil
	Q	Nil	Nil
	R	Nil	Nil
	S	Nil	Nil
	T	Nil	Nil

ROLLING SHUTTER SCHEDULE

TYPE	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
R.S.1	300	700	R.S.4	400	2100
R.S.2	300	2100	R.S.7	3475	2300
R.S.3	200	700	R.S.9	2225	2100
R.S.4	1600	700	R.S.9	2300	2100
R.S.5	2400	700			

DOOR WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
D	120	210	W	1500	1200
D1	180	210	W1	1200	1200
D2	180	210	W2	1000	1200
D3	90	210	W3	800	750
D4	80	210	W4	450	750
D5	100	210	V	1500	1500

SPECIFICATIONS
R.C.C. FRAME STRUCTURE WITH CONC. GRADE 15.8.5
250 & 200 MM THK. EXTERNAL, 125 & 75 MM THK. INTERNAL WALLS WITH 1:4 CONCRETE MORTAR JOINTS
STEEL & ALUMINUM WINDOWS
CAST-IN-SITU MARBLE FLOORING
15.8.5 CONCRETE PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.
WATER PROOFING TREATMENT.
T.O.P. FINISH ON INTERNAL WALLS & CEILING.

DECLARATION OF GEO-TECHNICAL ENGINEER.

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

Rupak Kumar Banerjee
RUPAK KUMAR BANERJEE
B.E., M.E., MRS., M.L.E.,
G.I.P.O. (R.C.C.), BARSOOTECH-1902,
9/18P, SOVA, TQ-14, G.T. ROAD, HOBBOLI, KOLKATA-700034

SIGN. OF GEO-TECHNICAL ENGINEER
RUPAK KUMAR BANERJEE, ENDSMENT NO. - GE. 31

CERTIFICATE OF STRUCTURAL ENGINEER

THIS STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE I.B.C. OF INDIA (LATEST REVISION) AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

Bhaskar Roy
BHASKAR ROY
E.S.E. - 1/143
BHASKAR ROY
E.S.E. - 110
SIGNATURE OF THE E.S.E.

DECLARATION OF ARCHITECT

THIS IS TO CERTIFY THAT THIS BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF MUNICIPAL BUILDING RULES 1991, AS AMENDED FROM TIME TO TIME & THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFORM WITH THE PLAN AND THE SITE IS BOUNDABLE SITE AND NOT A TANK OR FILLED UP TANK.

Saiful Alam
SAIFUL ALAM MOLLAH
Council of Architecture
Reg. No. - CA/2004/33386

SIGNATURE OF THE ARCHITECT

FOR: M/S N S CONSTRUCTION
Partners: SAMADUL ALI KHAN, NARGIS KHAN & SUHANA KHAN
C.A. OF SRI SAUMEN MIDDEY
SIGN. OF OWNERS

City of ...
Building Department

APARTMENT BUILDING
DEMOLITION PERMIT

City of ...
Building Department

APARTMENT BUILDING

ORIGINAL COPY / DUPLICATE
DEVIATION WOULD MEAN
DEMOLITION
FINAL / PROVISIONALLY SANCTIONED
RESIDENTIAL BUILDING PLAN

Necessary Steps should be taken for the safety
of the lives of the adjoining public and private
properties during construction

Plan No. 14-08-2021 356 (2021-22) revised
Date: 14-08-2021
Name: Shri. M. S. ...
Add: No. 10, ...
Ward No: 14
Sub-Set Engineer
Building Section
Municipal Corporation

Member
Board of Administrators
Municipal Corporation
24 DEC 2021

Before starting any construction site must conform
with the plan sanctioned and all the conditions as proposed
in the plan. The validity of the written permission to execute
the work is subject to the above condition.
BUILDING PLAN SANCTIONED DATE: 23.12.2021

Valid upto: 23.12.2021
Renewal Within: 23.12.2021
Construction should be made strictly according to sanctioned plan

(1/1)